

DEPARTMENT OF PLANNING AND PERMITTING

CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET * HONOLULU, HAWAII 96813 Phone: (808) 768-8220 * Fax: (808) 768-6111 DP#865462 1 permit 15 pg.

BUILDING PERMIT

FOR THE PERFORMANCE OF WORK UNDER THE BUILDING ELECTRICAL, PLUMBING, AND SIDEWALK CODES CHAPTERS 16, 17, 19, AND 20, RESPECTIVELY, AND UNDER CHAPTER 18 (FEES AND PERMITS) OF THE REVISED ORDINANCES OF THE CITY AND COUNTY OF HONOLULU

LOCATION

Zone | Section

2

Parcel 3160 PUU PAKA DR HONOLULU / KAPALAMA 968

272,860 Sq. Ft.

Site Address (if other than primary): 3160 PUU PAKA DR HONOLULU / KAPALAMA 96817

PERMIT FEE
Type of Payment(s)

\$1,596.00

Cash

Cash

Check X Charge X

PROJECT:

2

Accepted Value of Work: \$25,000

(BP #865462) [TMK: 22047007] 3160 PUU PAKA DR. // Dowsett Estates Unit 1 - New Retaining Wall.

TYPE OF WORK

Fence Y Other Grading Retaining Wall Y

RIGHT OF WAY WORK

Driveway:

Existing:

Private:

Sidewalk Types:

047

007

Curbing Types:

New:

Driveway Types:

Linear Ft. of Sidewalk: Linear Ft. of Curbing:

Linear Ft. of Driveway:

Please notify the Building Inspector listed below at least 24 hours before starting work in the Right-Of-Way.

GENERAL CONTRACTOR

JCON GENERAL LLC

Contact Info: (808) 551-4768 Lic. No.: CT37310

NOTES

Fence Clauses

For the work under this building permit, the City shall not be responsible, or liable for any potential drainage problems resulting from the flow of surface waters, or the alteration or concentration of surface water run-off on any property. It is a civil matter between affected parties. All footings shall rest on firm, stable, undisturbed soil and built entirely within property. For the work under this building permit, the City shall not be responsible, or liable for any potential drainage problems resulting from the flow of surface waters, or the alteration or concentration of surface water run-off on any property. It is a civil matter between affected parties. Gates to swing into property.

DATE ISSUED 06/14/2021

Location Permit Issued FMB
Location Application Created: FMB

Permission is hereby given to do above work according to conditions hereon and according to approved plans and specifications pertaining thereto, subject to compliance with ordinances and laws of the City and County of Honolulu and State of Hawaii.

FOR DIRECTOR OF DEPARTMENT OF PLANNING AND PERMITTING

THIS PERMIT MUST BE POSTED IN A CONSPICUOUS PLACE ON THE SITE DURING THE PROGRESS OF WORK, THIS PERMIT MAY BE REVOKED IF WORK IS NOT STARTED WITHIN 180 DAYS OF DATE OF ISSUANCE OR IF WORK IS SUSPENDED OR ABANDONED FOR 120 DAYS.

ELECTRICAL AND PLUMBING WORK TO BE DONE BY LICENSED PERSONS AS REQUIRED UNDER CHAPTER 448 E, HAWAII REVISED STATUTES.

NOTICE TO HOMEOWNERS: This is to inform all homeowners that improvements to your home may require approval by your Homeowners Association or authorized representative prior to the commencement of construction.

Approval by the Department of Planning and Permitting does not certify compliance with the Covenants, Conditions and Restrictions or other design restrictions administered and enforced by your Homeowners Association.

ALL CONSTRUCTION UNDER THIS BUILDING PERMIT IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. IT SHALL BE THE DUTY OF THE PERSON DOING THE WORK AUTHORIZED BY THIS PERMIT TO NOTIFY THE BUILDING OFFICIAL THAT THE WORK IS READY FOR INSPECTION.

THE FOLLOWING ARE THE INSPECTORS ASSIGNED TO INSPECT THE CONSTRUCTION UNDER THIS PERMIT AND THEIR TELEPHONE NUMBERS:

Building Inspector

Electrical Inspector

Plumbing Inspector

Storm Water Quality Inspector

Name Phone No. IRINEO PAGAT (808) 768-8131

APPLICATION NO.: A2020-11-1167

JobID: 87227882

PERMIT NO .: 865462

Initial Print Date: Tuesday March 21, 2023 11:34 AM

ExternalID: 087227871-002

Page 1 of 1

Tax Map Key: Application Index No: Project Name: Building Permit No.:

2-2-047:007 A2020-11-1167 Downsett Estates Unit #1 865462

BUILDING DIVISION DEPARTMENT OF PLANNING AND PERMITTING

SUPPLEMENTAL INFORMATION FOR BUILDING OWNER

The following information should prove helpful in determining whether additional information should be obtained before starting your project

1. x A Phone Call May Save Your Life -- if you have underground utilities investigate before you start work

Call: Hawaii One-Call Center 1-866-423-7287 or 811

According to the Hawaii One Call Law (Call Before You Dig) effective January 1, 2006, an excavator is required to call for utility toning at least 5 working days (excluding holidays and weekends) before starting excavation. One call does it all, as all the utility operators who have underground utilities will be notified. You will be required to pre- mark your proposed area of excavation with white paint.

Be Aware of the Sign, Asbestos, Lead-based Paint, Noise, and OSH Regulations

Sign Regulations – Building Division 768-8220

Asbestos and Lead-Based Paint

Regulations - Department of Health 586-5800
Noise Regulations - Department of Health 586-4700
Occupational Safety and Health - DOSH 586-9100

Department of Labor

- 2. X Owners will be responsible to notify the Federal Aviation Administration (FAA) for structures which exceed 200 feet in height above ground line and certain structures within 4 miles from the nearest point of the nearest runway of each airport. (Single-family dwellings exempted.) FAA telephone is 541-1243.
- 3. X Owners are required to verify their deeds, lease agreements, and/or association by-laws for any building / zoning restrictions.
- 4. X HOUSE NUMBERING REQUIREMENTS All main entrances to buildings shall be numbered with numbers at least two inches in height. Address signs shall not exceed one square feet. Emergency service agencies such as fire, police, ambulance, etc., can respond more readily with minimum delays when buildings are properly numbered.
- 5. x To prevent termite entry, the building code requires openings around pipes or other penetrations in concrete slab-on-grade to be filled with non-shrink grout.
- 6. x Plumbing and / or Electrical plans not checked. Project subject to inspection for code compliance.
- 7. x Plumbing and / or Electrical work shall be inspected and approved prior to concealment.
- 8. x PROTECTION OF ADJOINING PROPERTY The owner and contractor doing the excavation or fill shall be responsible to implement safety measures to protect adjoining properties, streets or natural watercourses from falling rocks, boulders, soil, debris and other dangerous objects.
- 9. X EROSION AND SEDIMENT CONTROL Since it is unlawful to discharge pollutants from the construction site, the owner and the contractor shall check the criteria for handling drainage discharges and ensure compliance with all appropriate regulations including Best Management Practices (BMP) requirements for construction sites. Call 768-8218 or 768-8219, or go to www.honoluludpp.org for more information.

Signature of Owner

Date

DPP-31 (Rev. 09/20)

Tax Map Key: Application Index No: Project Name:

A2020-11-1167

Dowsett Estates Unit #1

Building Permit No.:

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SHT DWG NO. DESCRIPTION **DOWSETT ESTATES - UNIT 1** CIVIL SHEETS 2 C100 CONSTRUCTION NOTES C101 | EROSION SEDIMENT CONTROL NOTES 4 C102 KEYSTONE WALL NOTES C200 OVERALL SITE PLAN 6 C300 GRADING PLAN **GRADING AND RETAINING WALL** C400 EROSION SEDIMENT CONTROL PLAN C401 | EROSION SEDIMENT CONTROL DETAILS COOD SITE SECTIONS **IMPROVEMENTS** STRUCTURAL SHEETS 11 S001 GENERAL NOTES AND TYPICAL DETAILS 8201 RETAINING WALL PLAN S301 RETAINING WALL PROFILES 3160 PUU PAKA DRIVE HONOLULU, OAHU, HAWAII TAX MAP KEY: (1) 2-2-047:007 PLANS PREPARED IN RESPONSE TO NOTICE OF VIOLATION 2010/NOV-10-138 WORK APPROXIMATELY OCCURED FROM NOVEMBER 4 TO NOVEMBER 6, 2020 PROJECT LOCATION **APPROVALS** VICINITY MAP CONSULTANTS MITSUNAGA & ASSOCIATES, INC. CIVIL ENGINEER MITSUNAGA & ASSOCIATES, INC. STRUCTURAL ENGINEER WALTER P. THOMPSON, INC. LAND SURVEYOR GEOTECHNICAL KOKUA GEOTECH, LLC KAHALUU PEARL **PROJECT** LOCATION **CPR UNIT 1 PROJECT** LOCATION

VICINITY MAP SCALE, NOT TO SCALE

LOCATION MAP

INDEX TO DRAWINGS



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CONSTRUCTION NOTES

DOWSETT ESTATES UNIT 1
GRADING & RETAINING WALL
3160 PUU PAKA DRIVE
HONOLULU OAHU
TAX MAP KEY: (1)22-047:007
HAWAII
TAX MAP KEY: (1)22-047:007



REVISIONS

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- TURK, WEATHERED OR GAGGING SEDIMENT BARRIERS OR MEET PROTECTION DEVICES MAST BE REPRINCED OR REPLACED BANEDATELY.

- WHATE STABERT TRACKAST ONTO GRACTIC STREETS, OTHER HANDS ABEAS, AND STEEMANDS FROM KYRICLES COTTING THE CANSTRUCTION WITE OF STREAMS AND ASSOCIATION A
- VEHOLLAR PARRING AND MUNICIPAL ON PROJECT SITES ALST BE COVENED TO PAYED SURFACES OR PREDCERED PARRING JASSIS AND VEHICLE PATHS, WHICH SHALL BE MAYORD WITH PLACE OR DOLUGIANY FEHOMA.
- ALI PULLIFIANTS AND INTERNALS THAT ARE PROPPED, WASHEN, TRACKED, SPALES, ON OTHERWISE DESCHARGED FROM A PRAUSICI STIE TO OFFICIE STREETS, OTHER PAYED FREAK, SOUGHUS OF THE MAP MUST BE CLEMED 15840 DOY METHODS SUCH AS SHEEDWIS OR MICHARDAD.
- WASHING POLITIANTS AND INVESTIGATION OF EXCHANGED FROM THE PROJECT SITE TO THE MAN AND COUNTAINETS ON CONTIN BUSING IS PROVISITED UNCESS THE WATERAL IS SECURED AND THE MALETS AND DIRECTED TO A REDUCENT BUSINGS BEDWIRST TWO.
- BEST MANAGORBIT PRACTICES (BAD'S) SHALL NOT SE REMOVED UNTIL FRAL STABLEZATION IS COMPLETE FOR THAT PRASE.
- * REFER TO DITY AND COUNTY OF HONOLILLI BEST MANUSCHEINT FRACTICES MANUSCHSTRUCTION, FOR MORE INFORMATION ON BMPS.
- 韩

PROSION PREVENTION SEDMENT CONTROL NOTES (CONT.):

THE PULLWHYCO BAR'S WESTE DETERMINEDT TO RE HYT APPLANES WESTE DAY THE STIFL SPECIAL A PRESE DRY MAKETURE OF WHY MAKE WHITED BAY WESTERSHAPE OR MAKETURE AND WESTERSHAPE WAS RESPARATIONAL WAS RESENTED MAKES RESPARATIONAL WAS RESPARATIONAL. WE PROVIDED TO DRY ASSESTITION.

DEMATERING PRACTICES ARE NOT APPLICABLE NELOCITY DISSIPATION DENCES NOT APPLICABLE EXPERIENT BAPRICABLE EXPERIENCE BAPE NOT APPLICABLE.

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BUP AND SITE MANTEHNICE, REGULARLY HISPECT AND MARTAM RECURRED EROSION SEDMENT CONTROLS TO ENSURE CONTRALED REPORTANCE.

DITE CONTROL

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SUBSECT SWEEDING AND VACUUMONS

MATERIALS DELIVERY, STORAGE JOHD USE MANAGEMENT ALL POLLITARTS DISCURRED FROM CONSTRUCTION SITE TO OFF-SITE AREAS MUST BE SHEFT OR VACUALED EACH DAY REFORE LEAVING THE JOB SITE.

SPILL PREVENTION AND CONTROL

CRETE MAD MATELETY SELL PROBERTON HAD RESPONSE FLANT TO EMBALTE AND CREATE AND MATELETY EXCHANGE OF CALLIFORN TO THE USE AND EXCHANGE WAS DEFENDED FOR SELL METERALE AND CREATE AND PROBLEMAN AND PRESENT TO RECEIVE AND RESPONSE OF THE METERALE AND PROBLEMAN AND PRESENT TO RECEIVE AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PRESENTED AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PRESENTED AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PRESENTED AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PRESENTED AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PRESENTED AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PRESENTED AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND PROBLEMAN AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND RESPONSE FLANT TO REPORT TO PROBLEMAN AND RESPONSE FLANT TO REPORT TO RESPONSE FLANT TO REPORT TO REP

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VEHICLE AND EQUIPMENT FUELING

PROPRIT FLE, SPLUS AND LEASE BY LISING OFF-SITE FACILITIES, FLEIJANG ONLY N DESIGNATIO AREAS, ELECUSIANO ON COMERNA STOKED FLEI, AND WATCHEVITHAN SPAT. CONTRACA SICK IN SECONDARY CONTAMBENT AND ACTIVE INSUSINESS USING SPAT. RESPONSE WITH.

VEHICLE AND EQUIPMENT MARRIENANCE

PREVENT OR REDUCE DOCUMENTE OF POLITIANTE TO THE LAND, OPCOMOMINES, AND IN-TROM WINTER FROM SOLD WINTE OR CONSTRUCTION AND DESCUTION MINETE OF PROVIDING DESCUMENTE WINTE COLLECTION FRANCE, OLD DESCRIPE OUT, AND DESCRIPE ON AN CONSTRUCTION WINTE IS COLLECTED, RESIDIED, AND DESCRIPE OF CHAY AT AUTHOROED ELIMINE MAI MEMOZE THE DISCHARZE OF POLITIMENTS TO STORM WHITE! FROM HEMDE AND DELIMENT MANTENANCE CREATIONS OF PUBLIC PROSPER FACILITIES WINDS FACILITIES AND STATES AND AND THE FACILITIES WINDS FACILITIES AND STATES AND CONTINUED AND CALCULATED AND EXCHANGE, CRECOMO POR LEASE AND CONTINUED AND CALCULATED FOR MAINTENANCE. SOLID WASTE HANAGENEAU

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CONCRETE WASTE MANAGEMENT

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PROJECT SEGUENCE:

- NSTALL ETHELESS CONSTRUCTION BITRANCE, PERMETER CONTROLS, NLET PROTECTION, AND TEMPORARY FENCING FOR PROTECTED AREAS, CLEARING AND GRUBBING AS HEXCESNAY FOR THE INSTRUCTION OF THESE BAPS.
- ANTARE STRUKTON ON SIGEP SLOPES A 1931 WITH HTUROSEENING AS SCON AS GRADING IS COMPACTED ON THOSE AREAS, NETWAL PERMANENT MODIATION BYSTEM PROOF TO POMMANENT RESEARCE.
- PROCEED WITH CONSTRUCTION WITH LEAST POSSIBLE DISTURBANCE OF VEGETATIVE AVEAS AND TEMPORANTY STRUCTURES. fluir persuagait ground cover according to the undecuping fluir 8.900m as rosself.
- ESTABLISHED TO PERMANENT VEGETATIVE COVER. CONTROL STRUCTURES AFTER FALL
- PRACTICE GOOD HOUSE/GEPING MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION
- NSPECTIONS WILL BE PERFORMED WEBSLY

RAIN RESPONSE PLAN

- THE POLICIANIS WILL SE PERFORMED WHEN HEAVY PANS, TROPPICAL STORM OR HURSDICINE IS BANGIERT OR IS POSECASTED IN THE HEAT 49 HOURS.
- NSPECT AL TELECURARY AFSILETER CONTROLS AND INLET PROTECTION INCIDES, AND LAUFINIMA DE RESIDENCE ASSISTILLA MET PÉRBETER CONTROLS THAN 1958 ÉCIDADO DE TO ACTIVE MOVOR IN THE AUREL, PA A ESCRES CRISMA E D'ESCRETO, BELOFE MAET PROTECTION DEVOCATION PROFESTION PROFES
- COMES OR REJOCATE MATERIAL STOCKPILES AND LICINO CONTAINERS TO ANOD CONTRICT WITH PARAMATER.
- RUACE SPILL PINS OR CILCONLY SPILL PIACE UNDER CONSTRUCTION VEHICLES TO PREPENT RUNCHE RECIN CONTACTING ANY SPILLED RETROLEIM PRODUCTS, PROPERTY CHECKE OF ANY ACCUMILATED CILY WATER AFTER THE RUNI EPENT

GOOD HOUSE CEPTAG DANS (CONT.)

p SWITHRINGSPING WASTE WANNEDWOT

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REVISIONS

TERPORARY MO PYRTHRE SANCTARY AND SEPTIC WATTE STREEMS SHALL BE MAINTED OR STRINGS IN MELL AMARTIMED AND SOCIEDALED FOR REGILAR WATTE COSTOOL. AND SEPTICEM SCREEKE SCREEKE, AND SEPTIC WASTE SHALL NOT BE STORED HAVE THE BEST OR RECEDIANCE WATTER.

WERENT ON REDUCE THE DESCHARGE OF POLITIVATE TO DEFINE WITHER FOLD CONSTRETANCE TO THE PROPERTY OF THE PROPERTY OF THE WASTERN OF WASTER THE WASTER OF WAS

CONTAMINATED SOL MANAGEMENT

ENOSION AND SEDMENT CONTROL PLAN SCHEDULE AND PAIN RESPONSE PLAN

- CLEAR, GRUB AND GRADE THE STIE, RELOCATE, RECONSTRUCT AND MARTIAN BAPS AS MEDICA TO KEEP THEM EFFECTIVE AT ALL TIMES, WITHATE TEMPORARY STANLIZATION DANCINITIES CHICAGONANA SICKMPLETER.

- TEMPORARY SUSPENSION OF ACTIVE GRACING.

- REASSPECT AFTER THE AFPROACHING HEAVY RAME, TROPICAL STORM OR HARBOAKE REPLACE OR MANTAIN BAP'S AS RECIED.

APPROVED

CHEF, CANL BROWNERS BRANCH DE

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EROSION AND SEDIMENT CONTROL NOTES

DOWSETT ESTATES UNIT 1
GRADING & RETAINING WALL
3160 PUU PAKA DRIVE
HONOLULU OAUU
TAK MAP KEY: (1)22-047-007





KEYSTONE WALL NOTES (ALTERNATE)

PART 1: GENERAL

1.00 FINAL RETAINING WALL DESIGN SHALL BE PROVIDED BY MANUFACTURER.

A WORK INCLIDES FIGNASHING AND INSTALLING A KEYSTONE A WORK INCLIDES FIGNASHING AND INSTALLING A KEYSTONE REFLANING WHALT TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DEALWARDS AND AS SPECIFED HEREIN.

B. WORK INCLIDES PERPANNES FOUNDATION SOIL, PURINSHING AND INSTALLING LEPELING PAID, 1911 FILL AND BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DEALWANGS.

C. WORK INCLIDES FIGNASHING AND INSTALLING ALL BELATED LATERAL RECONSTRUCTION OF THE RETAINING WALL AS SHOWN ON THE CONSTRUCTION OF THE RETAINING WALL AS SHOWN ON THE CONSTRUCTION DEALWINGS.

1.02 REFERENCE STANDARDS
A ASTIM C1372 SPECIFICAT

ASTM C1372 SPECIFICATION FOR SEGMENTAL RETAINING WALL SETM 0.422 PARTICLE SIZE ANALYSIS ASTM DEB LABORATORY COMPACTION CHARACTERISTICS USING STANDARD EFFORT. SSTM 0.4318 LIQUID LIMIT, PLASTIC LIMIT, PLASTICITY INDEX OF

ISTM D 4595 TENSILE PROPERTIES OF GEOTEXTILES - WIDE

UNCONFINED TENSION CREEP BEHAVIOR OF

NCMA SRWU-1 TEST METHOD FOR DETERMINING CONNECTION STRENGTH OF SRW

1.03 CHALTY ASSURANCE
A. OWNER WILL BE RESPONSIBLE FOR SOIL TESTING AND
INSPECTION CHALTIY CONTROL DURING WALL CONSTRUCTION
AND EARTHWORK OPERATIONS.

PART 2: MATERIALS

201 DEFINITIONS

A CONCRETE UNITS - A KEYSTONE MODULAR CONCRETE FACING UNIT, MACHINE MADE FROM PORTLAND CEMENT, WATER AND MINEPAL AGGREGATES.

STRUCTURAL GEOGRÍD - A STRUCTURAL GEOGRÍD FORMED BY A REGULAR HETWORK OF INTEGRALLY CONNECTED TENSILE ELDMENTS WITH A PERFURBES OF SUPPREMENT SEZ ET OR ALLOW INTERLOCKING WITH SURROLANDING SOIL, ROCK, OR EARTH AND PUNTTION PRIMARILY AS REMPORCEMENT. WHICH IS PLACED WITHIN AND IMMEDIATELY BEHIND THE MODULAR CONCRETE

REINFORCED BACKFILL - COMPACTED SOIL WHICH IS WITHIN THE REINFORCED SOIL VOLUME AS SHOWN ON THE PLANS.

2.02 KEYSTONE UNITS
A KEYSTONE WALL UNITS SHALL HAVE A MINIMUM 28-DAY
A KEYSTONE WALL UNITS SHALL HAVE A MINIMUM 28-DAY
COMPRESSAYE STRENGTH OF 3.000 PSI, STANDARD WEIGHT
CONCRETE SHALL HAVE A MAXIMUM MOISTURE ABSORPTION OF
6% (6% IN NORTHERN CLIMATES).

2.00 FIBERGLASS CONNECTING PINS
A CONNECTING PINS SHALL BE 1/2" DAMETER THERMOSET
AS CONTEXT RESULT PILITRUDED FIBERGLASS
REINFORCEMENT RODS SUPPLIED BY THE UNIT MANUFACTURER.

2.04 KEYSTONE KAPSEAL CONSTRUCTION ADHESIVE
A. MATERIAL SHALL CONFORM TO ASTM 2339 AND SHALL BE
SUPPLIED BY THE KEYSTONE UNIT SUPPLIER.

2.05 GEOGRID REINFORCEMENT
A GEOGRID SHALL BET THE TAYE AS SHOWN ON THE DRAWNIGS
HAWING THE PROPERTY REGULIREMENTS DESCRIBED WITHIN THE
MANUFACTURER'S SPECIFICATIONS.

2.08 BASE LEVELING PAD MATERIAL

A. MATERIAL SHALL CONSIST OF COMPACTED CRUSHED STONE OR
UNREINFORCED CONCRETE AS SHOWN ON THE CONSTRUCTION

2.07 UNT DRANAGE FIL.
A. URIT FIL SHALL CONSIST OF CLEAN IT MINUS CRUISHED
STONE ON CRUISHED GRAVEL MEETING THE FOLLOWING
GRADATION:

NO. 55

2.06 REM-PORCED MACKELL

A. RESIMPORCED MACKELL SHALL BE FREE OF DESHISS OR ORGANIC MATERIAL

MEETING THE FYLLOWING GRADATION TESTED IN ACCORDINACE WITH ASTN

D-422.

NO. 40 0-00 NO. 200 0-35 CL <-40 AND PI <-15 PER ASTIN DIGHB

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ZOD DRIANAZE PPE

A. WHEN REQUIRED, DRIANASE PIPE SHALL BE PERFORATED OR SLOTTED PHE PIPE

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WALL DECRUINON

3.01 EXCANATION
A COMPINACTOR SMALL EXCANATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION REMAINS. CONTRACTOR SMALL BE CARSTAL NOT TO USTILES BESIMMADED! AND POLIBOATION MATERIALS RETUYIO LINES SHOWN.

1.02 FOUNDATION SOIL PRESHAVATION
A FOUNDATION SOIL SHELL BE COUNTIED AS REQUIRED FOR LEYELING PAUD
DAMESONIS SOMMAINT THE CONSTRUCTION DRAWNERS, OR AS DIRECTED BY THE
BYGGERE.
B. URSILYALE GOLD SHALL BE REMOVED AND REPLACED WITH APPROVED
COMPACTED MATERIAL AS DIRECTED BY THE DRICKEES
C. OFFRICIALITY AREAS SHALL BE BLACKFLLD WITH APPROVED COMPACTED
C. OFFRICIALITY AREAS SHALL BE BLACKFLLD WITH APPROVED COMPACTED

3.03 BRIE TEJENIO MO 1900 TE LEGIO MONTO MONTO

WHEN REQUIRED, GEOTECTILE FILTES FASRIC SHALL BE A 4.0 025Y,
POLYPROPYLENE, NEEDLEPVACHED HONWOYEN FABRIC EQUIVALENT TO CASHW BY
CONTECH CONSTRUCTION PRODUCTS.

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THALTHON EQUIPMENT SHALL HAT BE OPERATED DRECTLY ON NEWSFALL HAT DESCRIPTION OF THE OPERATED DRECTLY ON THE CHOCKED FROM THE

CING THE FILL AND DAMAGING THE GEOGRID.

PHERED ECHIPMENT MAY PAGS OVER THE GEOGRID REMFORESIMENT AT SPEEDS, [LESS THAN 10 MEM.] AVOID SUCIDEN BRANCHIS AND SHARP

A PALECE RESTORE OF UNITS ONES PROJECTING PASS FROM UNITS BEDM, MPRLY MYSELF, AMERICAN TO THE SERVICE OF UNIT SELECTIN AND FLACE OF UNIT STOP PASSIONE BADDEL AND CHEMICAL TO PROSPED ORDER WITH LOW PERMEMBULLY FORL.

COMPACTED BACK IS CONNECTING BASK AND SET IT ALCOMES.

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DOUL RENFORCEMENT SHALL BE CONNECTED TO THE REYSTONE WALL PLACING THE GEOGRID OVER RISERGLASS PASSAND LAYNG THE GRID COMPACTED FILL PLACE THE REXT COURSE OF UNITS OVER THE

AT THE BID OF EACH DAYS OPERATION, THE CONTRACTION SWALL GRADE THE DACKTEL NAME PROW THE WALL, AND DISECT SUMMY FROM THE WALL FACE, THE CONTRACTOR SWALL OF LLLOW SURFACE RUNGET FROM ADMICSH AREAS TO ENTER THE WALL CONSTRUCTION SITE.

AN HOTE REFULLATION

A THE FIRST CLASSES OF CONSISTE MODULAN WILL INFO SHALL BE CHESTRALLY ALAEDO HITE BLOSE LEGILARS PAUL ESCHLAME SHALL BE CHESTED FOR LEVEL, AND LEGILARS OF SEE FASH PALL ESHING OF WHAT ALBEMENT IN THE CHESTED FOR SEY SEE FASH PALL ESHING OF WHAT ALBEMENT IN THE CHEST SHALL BE CHESTRALLY SHALL BE CHESTRALL

E SACH SARSKALERI COLARSE BYSLERMI THAN PRIST PROTINCE KITO PHAY COLARESTA AMBIANALO FT "THAN DIRES AND EXCURED DEPO HAT PAL HAIT FORMADO, MANY FROM THE PILL ZONE, LOCIONO AGAINST THE PINS IN REPORTE COLARSE AND ANOTHLY AS THE COLARSE IS COLAR-LETED, REPEXIT EDURE TO THE CYTERY OF WALL, REPORT.

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LIDA GEORGIA SHALLE KUNATTHE PROPER ELEVATIONS AND ORBITATION AS
SHOWN ON THE CONSTRUCTION INFANSISS OF AS DESCRIBO SHALL SE PROPERED.
A GEORGIA CHARLINA (PALAL) DESCRIBON OF THE GEORGIA SHALLE SEPERIORICAL
BY THE CONTRACTION WITH THE STROWNESS FORECTION FLACED PERFORMANCE.

THE GEOGRAD SWALL RE PILLED TAUT TO ELMINATE LOCKE FOLDS AND THE GEOGRAP RECEDISON THE RESPICACIONATE, STANC OR SECURE LACK EDGE OF GEOGRAP PROOR TO AND DURING BUCKYEL AND COMPACTION. GEOGRAD SWALL RE PLACED SIDE BY EDGE WITH NO GAPS.

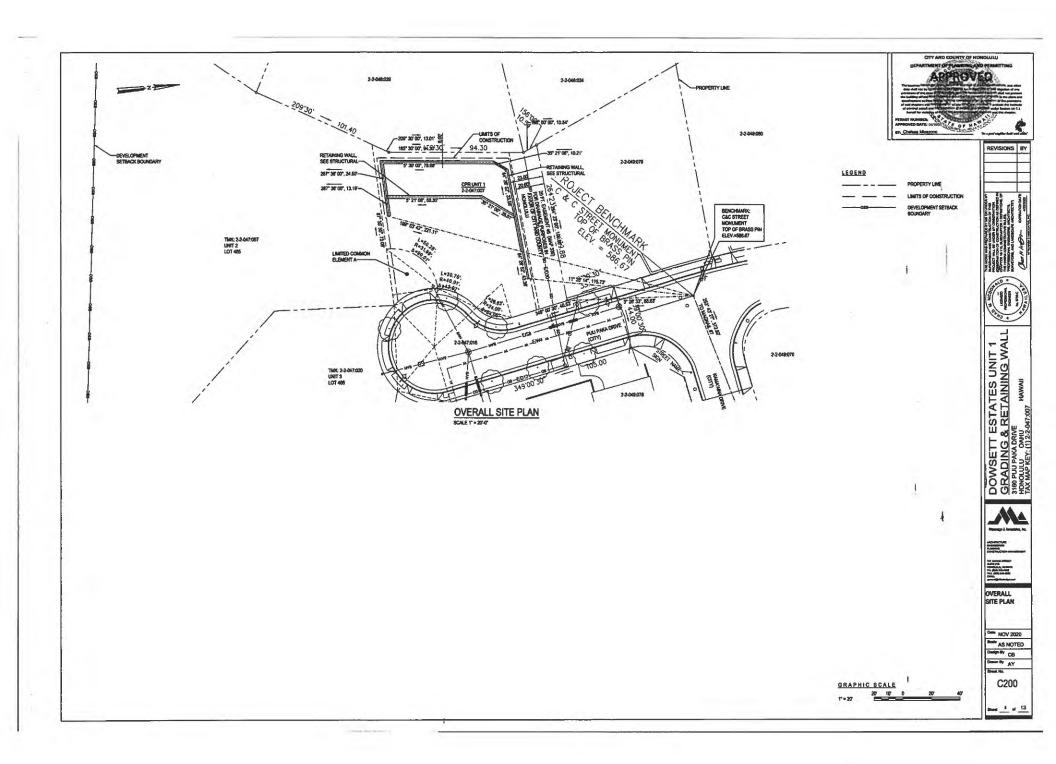
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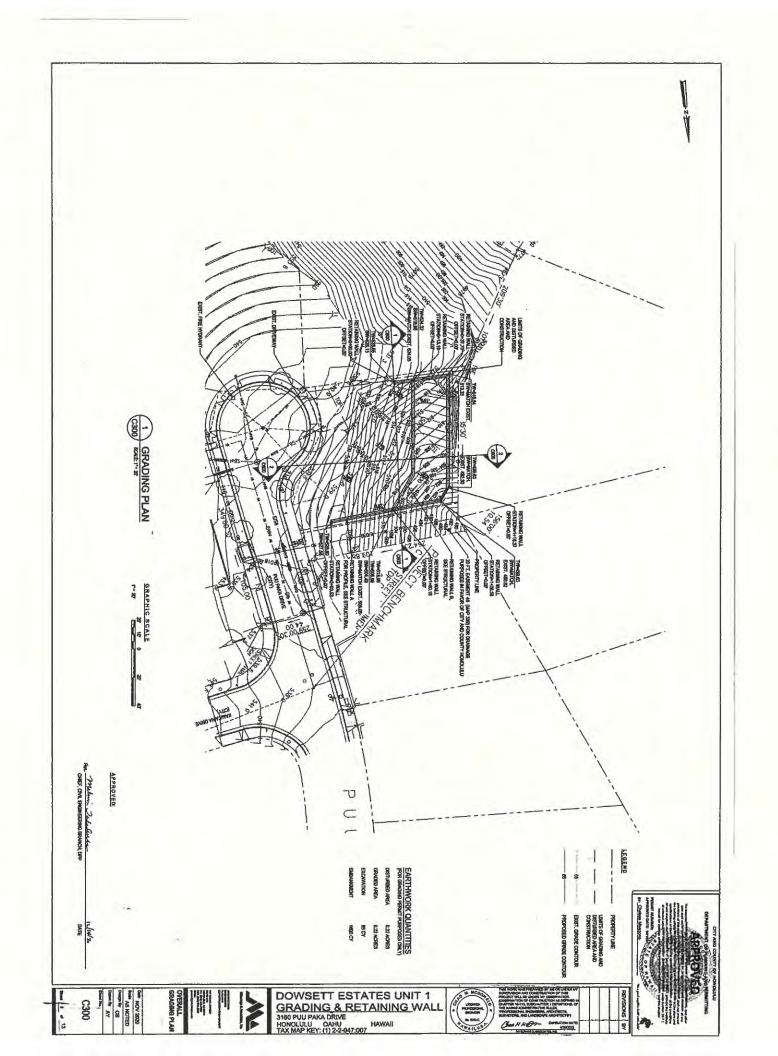
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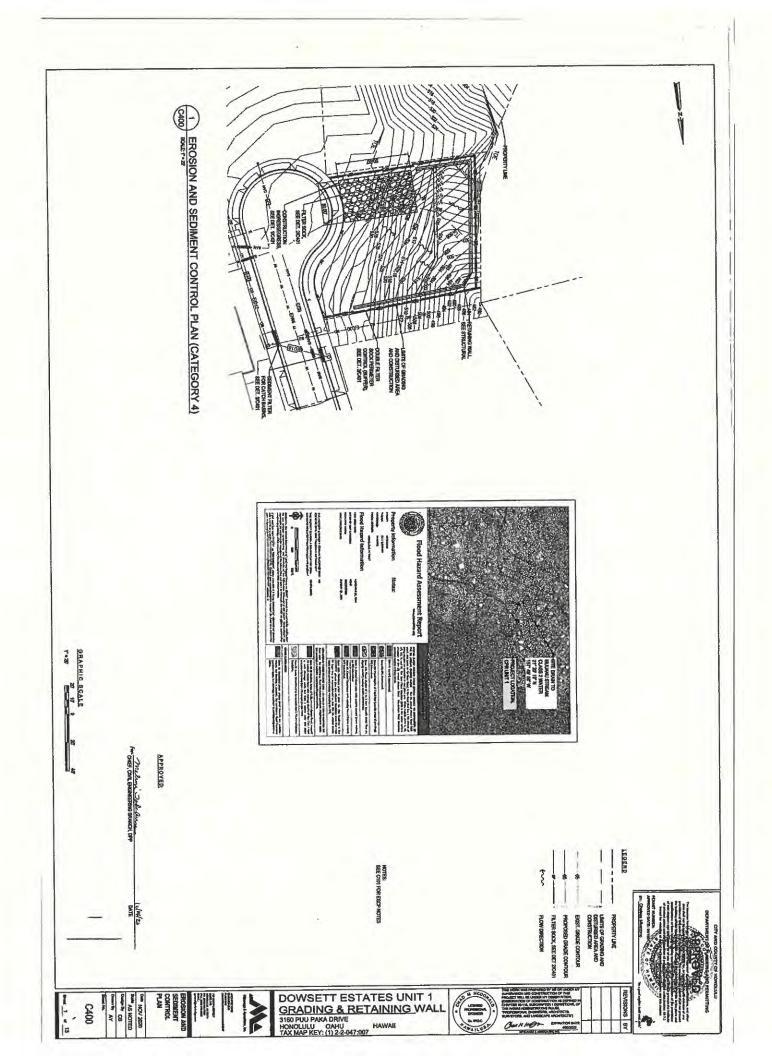
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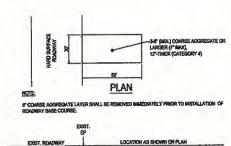
1 4 13 C102 WALL NOTES

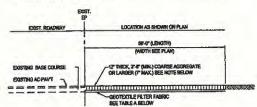
DOWSETT ESTATES UNIT 1
GRADING & RETAINING WALL
3160 PUU PAKA DRIVE
HONOLULU OAHU
TAX MAP KEY: (1) 2-2-047:007







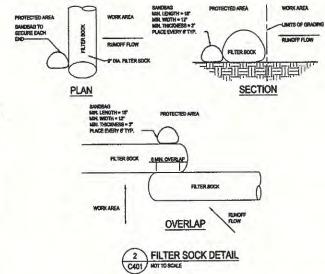


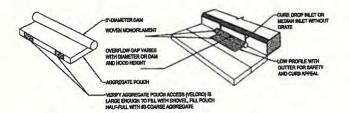


SECTION

	XTILE REQUIREMENTS
PHYSICAL PROPERTY	
GRAB TENSILE STRENGTH	220 LB (ASTM D1682)
ELONGATION FAILURE	60% (ASTM D1882)
MULLEN BURST STRENGTH	430 LB (ASTM D3768)
PUNCTURE STRENGTH	125 LB (ASTM D751, MODIFIED)
FOUNDALENT OPENING	SIZE 40-80 (U.S. STD SIEVE, CWW-02215)

CONSTRUCTION INGRESS/EGRESS DETAIL C401 NOTTO SCALE







APPROVED

For Melin Tolo Aus 12/14/20 CHIEF, CIVIL ENGINEERING BRANCH, DPP DATE

CITY AND COUNTY OF HONOLULU

REVISIONS BY



GRADING & RETAINING WALL SISP DUN WALL SISP DUN WAS BRIFE HONGULU ON-UIL TAX MAP KET: (1)2-2-047-307

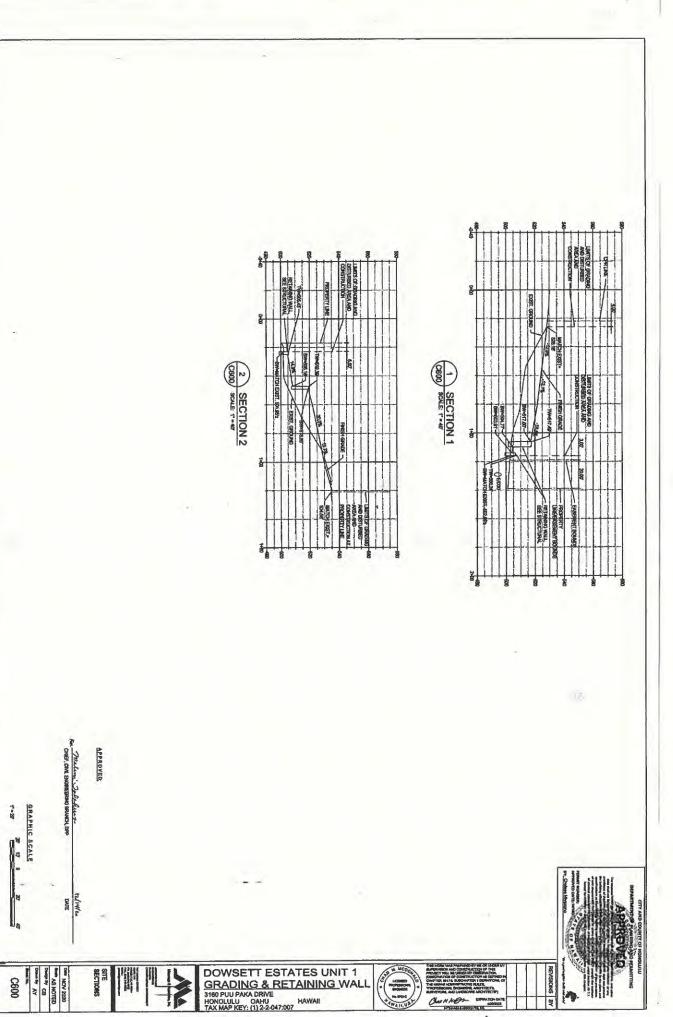


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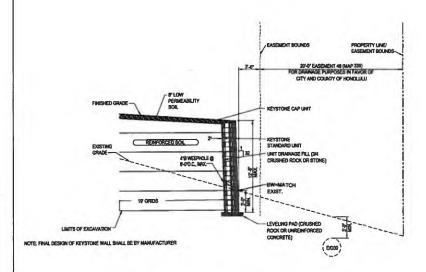
SEDIMENT CONTROL DETAILS Dels NOV 2020

Design By CB Omensy AY

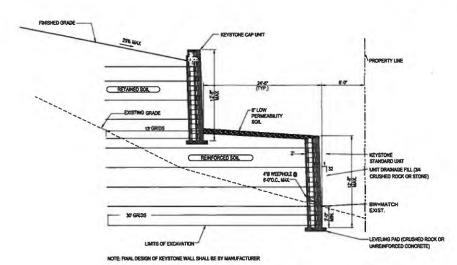
C401







TYPICAL KEYSTONE WALL SECTION 1
SCALE 14" = 1'-0"



TYPICAL KEYSTONE WALL SECTION 2
SCALE: 144" = 1'40"

C701

GRAPHIC SCALE

GRADING & RETAINING WALL
STORMUL OWN
TOWNSHIP
TO

Date NOV 2020
Scale AS NOTED
Design By CB
Drawn By AY

C701

CALLE GOURS OF SECONDAIL TO SHEET SH 4. DITEMBONG SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. 3. THE GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY UNLESS OTHERWISE SHOW 2. ALL MATERIALS AND MORCHANSHIP SHALL CONFORT TO THE DRAWNES AND SPECIFICATIONS. 1. STRUCTURAL FILL SHALL BE PLACED N.S. NCH LOOSE LETS, 10/STURE CONDITIONED TO ABOVE THE OPTIMAL HOISTURE CONTRACTION TO 50% RELATIVE COMPACTION. A STRATEMENT EL MATERIA MALL COMBIG DE MONTENAMENTE GRANIA RE MATERIA MA COMBIED CORAL. POR DAMALT SPRICTIRAL PLI MATERIA SIAL DE REIL GRANIA DE PART COAMBE TO THE MINT PARTICLES MOT LAGREE MAN DE NORME PLANCEST TO THE MINT PARTICLES MOT LAGREE MAN DE NORME DE LA MOSTERIC DE MAD DE PRECENTE PLANSAN THE NOTAM DE STRE CORT VALLE GALL DE 20 PRE KASER NAD A MEEL POTRITIAL OF THE MOST. PRE KASER NAD A MEEL POTRITIAL OF THE MOST. SENTERAL NOTES

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LLS (CONCEALNS HOLD DOWN ANCHORS). DERMS HE COMPRECION FERDO HE CONTRACTOR BMAL REPONSULE FOR THE METHOR THE BULDAN AND THE DITILITIES HATH DEVALUE HE ROTTELLES, STRETTE DITILITIES HATH DEVALUE HE CONTRACTOR WIN COMPAGE UNITED HYPERS, EMANDE AND CATE N COMPAGE WIN ALL NATIONAL STRETE AND LOCAL AMETY LEAD DAMEN DE DRANCES COMBILLION SHALL BE USED, SUBJECT TO DECIMA OF COMBILLION SHALL BE USED, SUBJECT TO NOTICE TO DECIMA SHALL BE USED, SUBJECT TO NOTICE COMBILION SHALL BE USED, SUBJECT TO DECIMA SHOULD SHALL BE USED. RETAINS WILL AND KOMPATION DEWAY IS EASED ON TECHNEAL BUCKERING REPORT THE D WHIT ESTATES WEDINARY. WITS I FROUGH IN-CALLIL CHAIL HAWAY - APPAL 26, 2007 FROJECT NIMBER 275-30 FREPIAMED SY KOMMA GEOTECH LLC. ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA NUMBER OF DEVIATION MUST BE APPROVED BY OSHA SCHACT THE BOTTOM OF ALL FOOTHS DICAMATIONS TO SEA AIME COMPACTION AS DITEMENDED BY ASSEMBLE REPORT BRACTURAL TRAL COMPACTED TO SEA RELATING. NE ROUDATIONS SHALL DE EPIEDDED A INSIST OF 36 SE DELOS IN EL LOLES! LOLACJOT RASH GRAUDEN KOR PIG GODADO CONDITIONS THE CONTRE SHALL DISTON TER TO OBJAN A MORTH B FOOT SETEMOS DISTANCE OF SEED PROCETTINE OLITICOE EDIGE OF KOOTING TO FACE OF TE. ALL CHIBBIONS OR CONFLICTS BETWEEN THE VARIOUS TO THE WORKING DRAWNESS SHALL BE BROUGHT TO ATTEMPT OF THE ARCHITECT BEFORE PROCEEDING WITH ALL PROFINATION SHOUN ON THE PRAMINGS FIRE ATTHE TO STAN CONDITIONS OF OAYEN AS THE BEST PRESENT ILLEDAE, BUT WITHOUT GALARANTEE OF ACCURACY. THE TRACTOR SHALL PERFOR ALL DYNOSIONS AND CONDITIONS OF TO THE START OF THE ADS AND NATIFY ALL TREPANCIES TO THE ADS AND NATIFY ALL FROME DELAYATIONS PROF TO THE PLACEMENT 1. DRAIN ROCK BHALL BE SRAFFED IN A GÉOTEATH E RITER FABRIC SUCH AS HIRAH HAIN OR SIFELAR AND SHALL CONFORM TO THE FOLLOUING GRADATION: 2. ALL CONCRETE SHALL BE NORTHAL WEIGHT (50 PCF) WITH AGAIRSANTS CONCORNED TO ARTH C.33, WALESS CHARGANTS FOR CONCRETE AT 29 DATS AND MANTHM AGAREGATE SIZES SHALL BE AS FOLLOWS DATS AND MANTHM AGAREGATE SIZES SHALL BE AS FOLLOWS 5. DO NOT EXPOSE GROUT LINES. CHAT RELABINATION STALLS IL HELDED HIRE FABRIC SHALL BE GALVANIZED AND CONFORM TO ASTM A-185. CONCRETE NOT EXPOSED TO EARTH OR WEATHER BLADS, WALLS, AND JOISTS 3/4" BEATS AND COLUMNS 1-1/2" FORTED CONCRETE EXPOSED TO EARTH OR WEATHER.

5 AND STALLER

6 AND LARGER

7' CONCRETE CAST AGAINST EARTH US. MINIMAL COVER IN INCLES FOR REBARS FOR CAST-IN-PLACE CONCRETE: REBARS SHALL BE SUPPORTED, BENT AND PLACED AS PER THANIAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES' ACI 35 (LATEST). 1. STAGGER ALL SPLICES WHERE POSSIBLE.
A. ALL WELDING OF REINFORCING SHALL COMPORT TO
STRUCTURAL WELDING CODE - REINFORCING STEEL! (AUS DIA). b. UNLESS OTHERWISE NOTED, SPLICES, LAPS, DOUBL EXTENSIONS AND BYBEDYENTS SHALL BE 40 BAR DIAYETERS BUT NOT LESS THAN 24" HINNUY. b. INLESS OTHERWISE SHOWN LAP QUITERYOST CROSS WREE OF EACH SHEET OF WELDED WIRE FABRIC ONE SPACING OF CROSS WREE PLUS 2" TIMPIN". A. ALL RENFORCING STEEL EXCEPT TIES AND STIRRUPS SHALL CONFORM TO ASTM ASIS GRADE 60. TES, STIRRUPS AND REBARS TO BE VELDED SHALL BE ASTM ASIS GRADE 40. L ALL CONCRETE WORK SHALL CONFORM TO ACI 318-11 ALL IDDRÉ BAALL CORPORT TO BECTIONS SOME! MATERIALS NO SOME CONSTRUCTION REQUIREMENTS OF THE MANUAL NADIAGO SPECIFICATIONS FOR ROAD AND BRIDGE ONSTRUCTION (LATERY). 3. MAXIMUM WATER-CEMENT RATIO SHALL NOT EXCEED 035. RESPONDED CONCRETE STANDARD SIZE AGGREGATES NO. 6, 51 AND 61 AND 1-10 NOH FILTER MATERIALS SHOULD SATISFY THIS GRADATION REGUREMENT. RESPACES, SACES NOVETTER SALL SE PLACED AT RESPONDED TO SACES AND SALE OF SACES AND SALE OF SACES AND SALE OF SACES AND SALE OF CONTROL FRANCE SALE SALE SALE OF CONTROLS FRANCE SALE SEASON OF SACES AND SACE . RENFORCETENT, ANCHOR BOLTS, 81750N CONECTORS, CHELS AND ALL OTHER EMBEDDED ITEMS SHALL BE CHINNELY SECURED BEFORE POURSKS. ONDED SET STOKES NITO CONCRETE BENDRE THE CONCRETE PARKS NO CARELLE PARKS NO CANADA PARK NO CANA ATT STOKES SHAFT DE CITEM AND WATER WHAT OF ALLEGATION STATES THAT THE STATES AT THE CONCRETE IS PLACED, RENFORCIAS SHALL BE BE FROM MID, OIL, LATRAKE OR OTHER COATINGS WERRELY AFFECTING BOND CAPACITY. THE WALL SHALL BE GROWED SOLID. GROW AND HORIZAR LI HAVE HIGHEN COMPRESSIVE STRENGTH OF 2,000 PSI AT ALL RENFORCING BARS MARKED CONTINUOUS (CONT.) ON PLANS SHALL BE LAPPED 45 BAR DIAMETERS HINTUR! NOT LESS THAN 7 -9". S. PAGGNG BY DRY LEIGHT SO - 1000 SO - 100 O - 50 O - 5 ų AGGREGATE BIZE 1. NOTIF SPECIAL INNECCION A LORGINA DATIS PRICIPE TO INDICO PARPECTION RESPONDE.

3. THE CONTRACTION SHALL BE INVITALINE WIN THE SPECIAL WHICKNOW REJUNESCHIEN SHALL BOWN THE SPECIAL THE SPECIAL INVITATION RESPONDED FOR A POPULATION SHALL BE RESPONDED FOR HOME THE SHALL SHALL BE RESPONDED FOR HOME THE SHALL BE THE CONTRACT OF THE SHALL BE THE CONTRACT. 2. ROMDATION DESIGN CRITERIA TYPE 3 UNIT I CODEN 160 MEDINATIONAL BILLDING COOK CHARLES NAMED L ITEMS REQUIRMS SPECIAL NAMECTION
REPROPERSONS STEEL (PERSONS)
CONCRETE CAST BIG TASKET TASKS NOTION AND POST TEAST BACKAIT
ACUM LASSINGS ALLOWANE REMEMBLANCE PASSIVE REMEMBLANCE CORPRODER OF FRICTION MEMORY CONFORM 55 670 TYP. REINFORCING
PLAN FOR CONC. FOOTINGS
WITHOUTE COND. AT CORNER TYP. STEPPED HIG NOT TO BCALL TYPICAL RETAINING WALL SE AND SETBACK FROM SLOPE NOTE: STEP NOT ALLOWED IN COLUMN FOOTINGS (HAXU STANDARD HOOK (B. HAN ULL AD ABSUCATAL HOSTOWATA 9-90-9 10-21 TO BE ACE OF BLOM COND. AT INTERRECTION RENIGRANG SO HORE 1.6 (§ Þ (80 RELATIVELY RELATIVELY REPERCENCE E LAYER OF 305
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GRADING & RETAINING WALL
3160 PUU PAKA DRIVE
HONOLULU OAHU
TAX MAP KEY: (1) 5-2-047-007 Describy AL AND THPICAL DETAILS 11 a 13 S001

